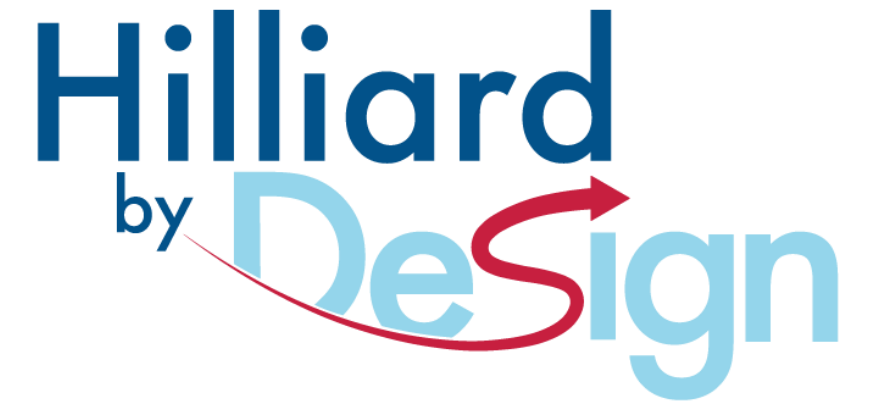


Planning Commission

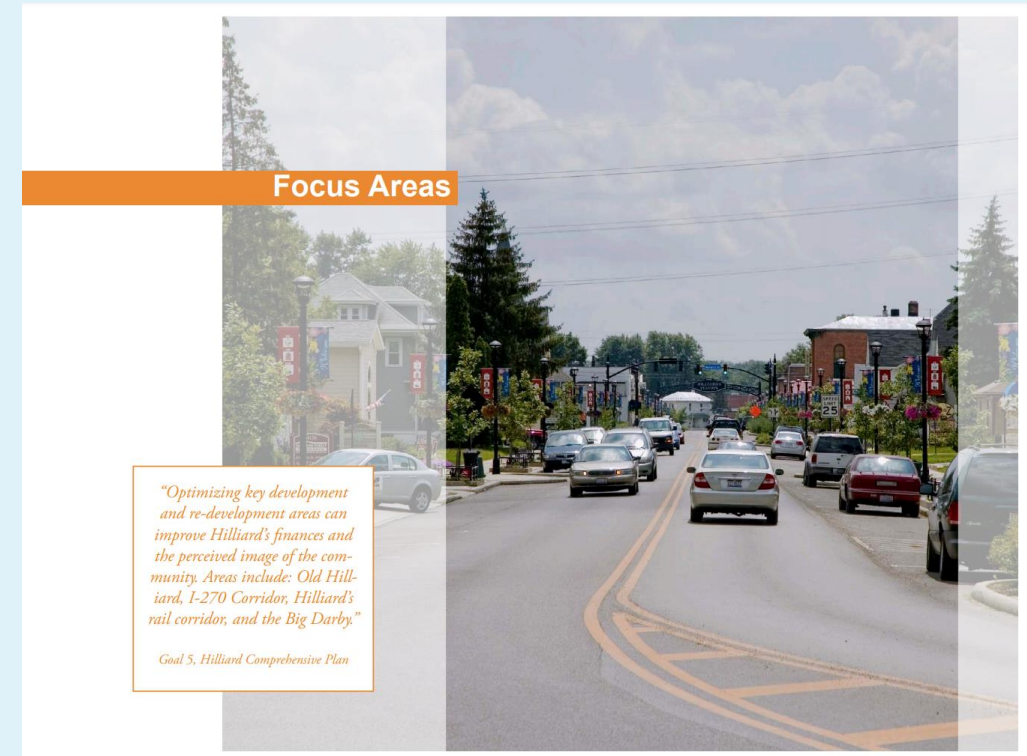
March 9, 2023



COMMUNITY PLAN

Topics

1. Process overview
2. What you'll see in the plan
3. Next steps for the plan
4. After the plan



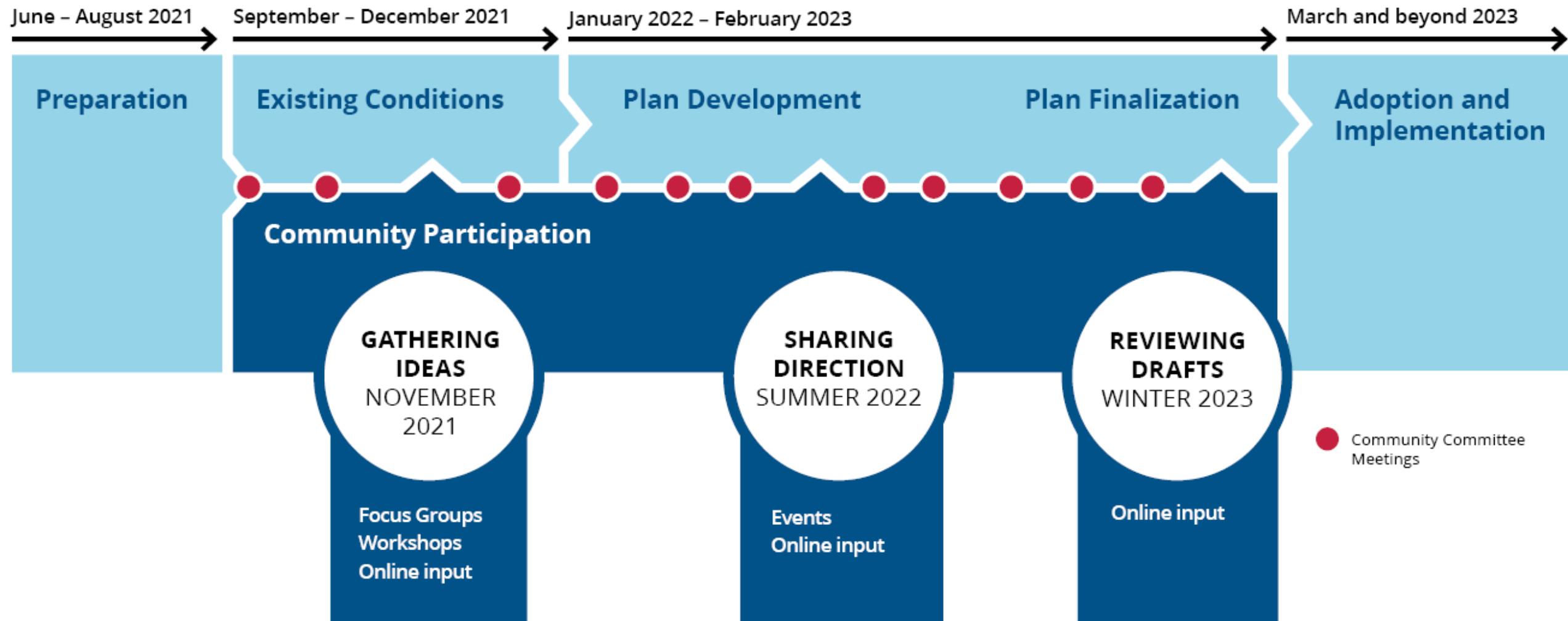
Hilliard by Design is a process to define a long-term vision for Hilliard and set the direction for the City's future growth and development.

The process will create a major update to the City's Community Plan, which was adopted in 2011.

What is a Community Plan?

- Citywide policy guide to inform local decision-making
- Identifies policies, projects, and programs to address goals
- Implemented over time through capital improvements, development approvals, city budgets, departmental work programs, economic incentives, private development decisions, etc.
- Foundation for the city's regulations (zoning and other ordinances)
- Marketing tool that articulates community's vision and how the private sector can support that vision

Process Overview and Milestones



Who was involved

Community Committee

guide process and substance

Stakeholders

targeted input
(meetings with internal and external entities)

Public

general input and feedback
(three rounds, multiple opportunities)

Staff

project management, local knowledge

City Council and Planning Commission

monitor, adopt

Consultants

facilitate, technical expertise

Public Input Round 1: What we heard

1. Greater variety of things to do
2. Improved community character, appearance, placemaking
3. Better development and redevelopment projects
4. More and better park and public spaces, for community gatherings
5. More pedestrian and bike friendly mobility options and connections throughout the city
6. Safety and maintenance (transportation and parks)



Important findings from stakeholders

1. Good place to live, to work, to conduct business, to invest
2. Weak identity (sense of place, distinctive physical character)
3. Challenges with talent / workforce attraction
 - Housing (high end and low end of price spectrum)
 - Amenities
 - Walkable live-work-play areas (beyond Old Hilliard)

Public Input Round 2

- Celebration at the Station (June 16 and July 14)
- Historical Society Art Show (June 25)
- Freedom Fest (July 2)
- Adult Recess (July 16)
- Online (June 16 to August 14)

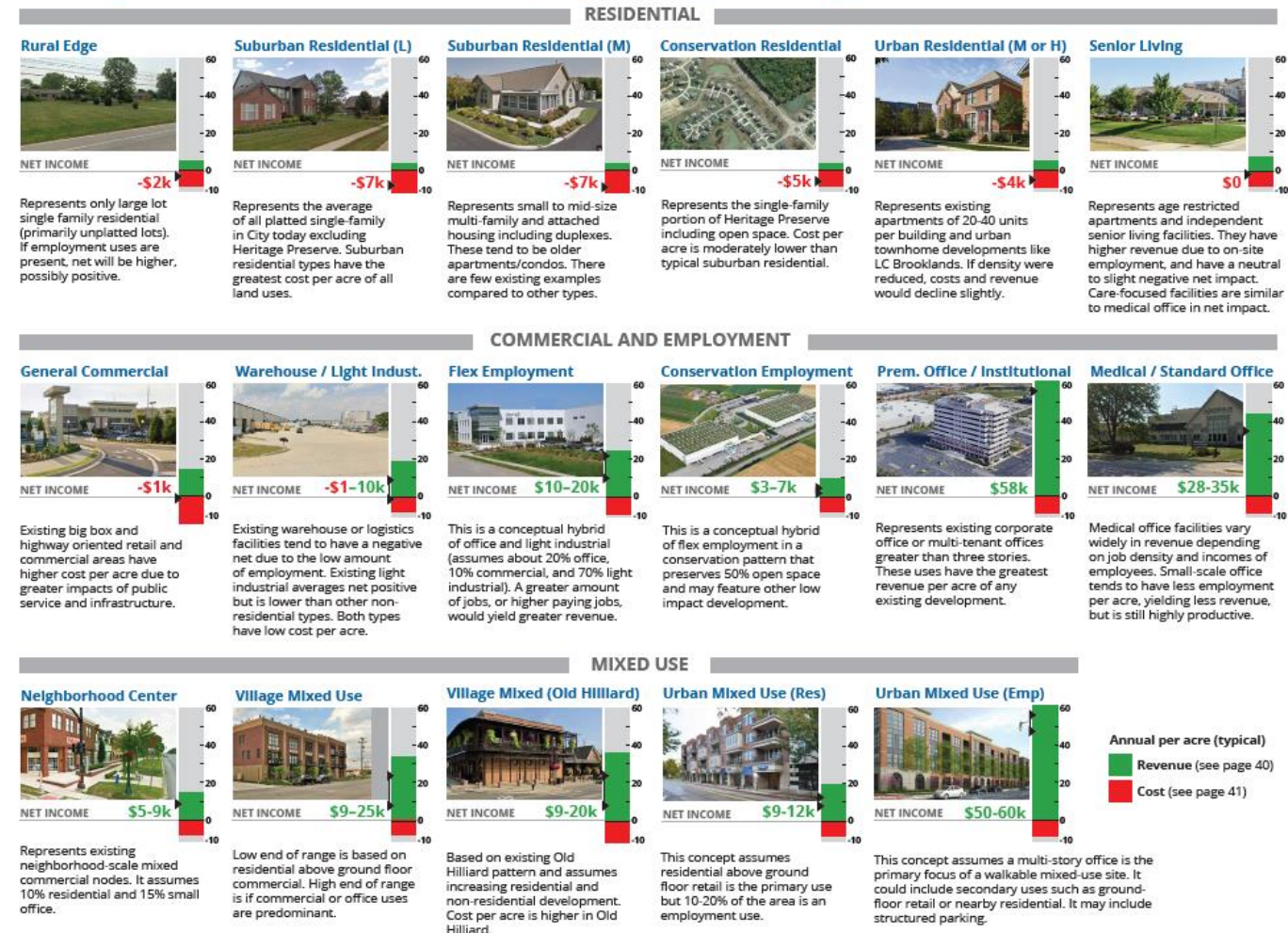


Analysis: Fiscal impact of land use in Hilliard

1. Residential does not pay for itself regardless of the pattern.
2. Low density, car-oriented commercial is the least fiscally beneficial non-residential land use, followed by warehousing and logistics.
3. Mixed-use developments that include office, retail, and residential uses are typically fiscally beneficial.

See page 39

Summary of estimated annual net fiscal impact per acre by land use type in Hilliard



**What you'll see in
the plan**



COMMUNITY PLAN

Plan Structure

1. Vision and Big Ideas

2. Citywide Framework

- Land Use and Development
- Mobility and Connectivity
- Parks and Public Space
- Economic Vitality

3. Focus Areas

- Old Hilliard
- Cemetery Road
- I-270
- Rail Corridor
- Big Darby Area

Big Ideas

1. Focus Growth Inward
2. Create more walkable, mixed-use places
3. Become a trail town
4. Expand opportunities for walking and biking
5. Reimagine Cemetery Road
6. Encourage mixed-use development around premium office sites
7. Conserve a greenbelt
8. Expand housing options

Each plan chapter includes objectives and actions (projects, policies, and programs)

LU 3 **Update the zoning code standards that apply to various locations across the city.** The following actions apply generally to the zoning code and would address development issues throughout the city. They could be undertaken together as one code update effort.

zc Throughout this plan, actions that involve potential zoning code updates specific to each Focus Area or other topics are identified with this icon.

LU 3.1 **Establish standards that encourage development and redevelopment with a walkable mix of uses in various locations.** Create new zoning districts or redefine the permitted uses and design standards in the B-1, B-2, B-3 and B-4 districts to allow for mixed-use developments at various scales without requiring a Planned Development (PUD) process. Incorporate design standards for mixed-use areas to address building and parking location relative to the street, sidewalk location and connectivity, building design, and public spaces. Incorporate building design standards that complement or maintain the neighborhood character (i.e. Old Hilliard)

Missing Middle Housing

Missing Middle Housing refers to a range of multi-unit or clustered housing types that fall between detached single-family homes and mid-rise developments. Missing Middle Housing types are compatible in scale with detached single-family homes and could provide diverse housing options to meet the needs of different lifestyle and affordability needs. The following list is some of the common missing middle housing types with a brief description of their design.



Duplex

A small- to medium-sized structure consisting of two dwelling units, either side-by-side or stacked one on top of the other, which face the street and have separate entrances.



Fourplex

A medium-sized structure which consists of four dwelling units, typically stacked with two on the ground floor and two above, that face a street and are accessed through a shared entrance.



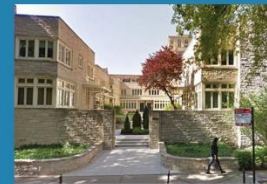
Multiplex

A medium-sized structure consisting of five to 10 side-by-side or stacked dwelling units, typically with a single shared or series of shared entrances.



Townhouse

A small- to medium-sized structure consisting of usually three to eight attached single-family homes placed side-by-side. Each townhome would face the street and be accessed by a private entrance.



Courtyard Apartment

A medium- to large-sized structure consisting of multiple side-by-side or stacked dwelling units access from a shared courtyard or series of courtyards. Units may have separate entrances or shared entrances depending on design.



Bungalow Court

A series of small, detached structures providing multiple units arranged around a shared court that is perpendicular to the street. The shared court replaces the private backyard as a shared amenity by all the units.



Live/Work Unit

A small- to medium-sized structure, attached or detached, consisting of a single dwelling unit above or behind a ground floor space for use as a service or retail business. Both the residential and commercial units are owned by the same entity.



Carriage House

An accessory structure typically located at the rear of a lot providing a small dwelling unit or office space. The unit can be located above a garage or on the ground level.

Focus Areas

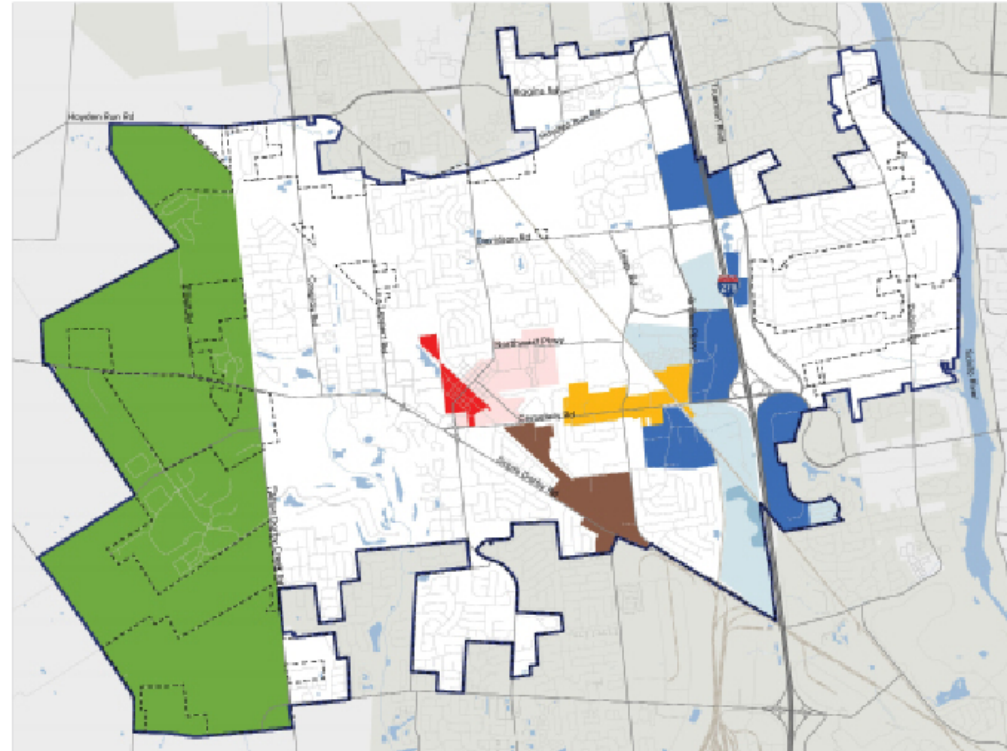
Old Hilliard is the City's historic downtown core defined by the original street grid and the Franklin County Fairgrounds. Continuing to develop and promote Old Hilliard as a distinctive destination will help to create a stronger sense of community, enhance the local identity, offer new housing options, and create a more vibrant economic environment.

Cemetery Road Corridor is the City's primary east-west gateway corridor linking Old Hilliard with I-270. By encouraging redevelopment and making the streetscape more attractive while maintaining its function as an arterial street, this area has a huge potential to create a more positive first impression for visitors and strengthen community pride.

I-270 Corridor consists of the area surrounding the Cemetery Road interchange, including Hilliard's portions of the Mill Run development, as well as extending south and north to the City limits. This area should be the city's economic engine and provides excellent opportunities for infill and redevelopment to develop a more attractive entry into the city and increase the its tax base.

Retired Railroad Corridor extends along the vacant rail line from Columbia Street in Old Hilliard southeast to Leap Road and includes some adjoining parcels along the corridor. This area is a special opportunity to extend the Heritage Rail Trail establish Hilliard as a Trail Town and create trail-oriented development that is unique within Central Ohio.

Big Darby Area includes land along the western edge of the City's utility service area, which falls within the Big Darby Accord Watershed Master Plan. The focus of this area is to manage growth in a way that preserves a connected system of open space minimizes adverse environmental impacts and does not weaken the City's long-term fiscal health.



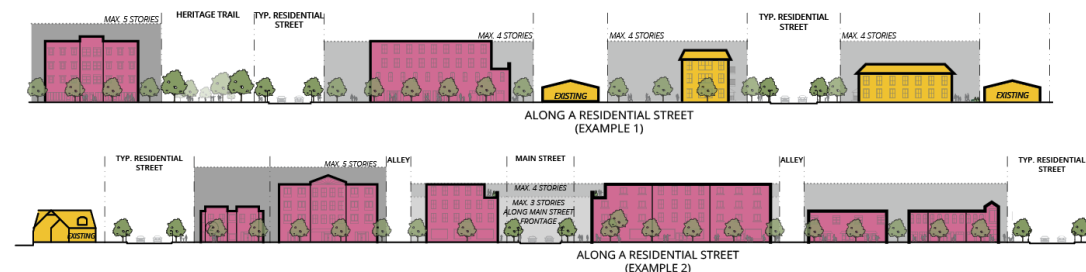
Old Hilliard

Encourage growth while maintaining the district's distinctive small-town character.

- 1. Create inviting pedestrian-friendly places and mixed uses along Main Street**
- 2. Extend the mixed-use character south and west to the intersection of Main Street and Cemetery Road**
- 3. Grow residential with mixed urban housing**
- 4. Preserve the existing character of residential areas along Norwich Street**
- 5. Maximize the use and benefit of the Fairgrounds**



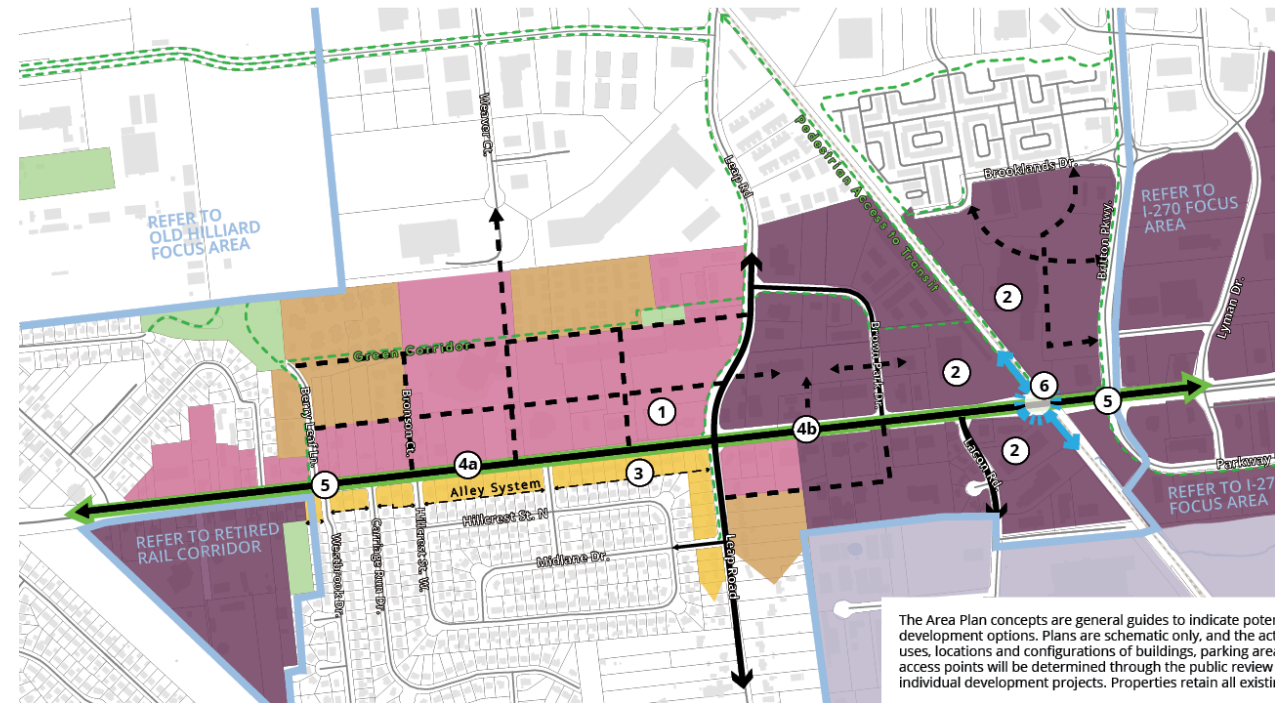
Typical building relationship between mixed use, new residential, and existing residential



Cemetery Road

Redevelopment that creates a more inviting, walkable, and mixed-use place; is an economic hub; and is supportive of future transit.

1. Village-scale mixed-use with buildings framing the street
2. Urban-scale mixed-use providing opportunity for future transit
3. Urban/Village residential fronting Cemetery Road (alley access)
4. Streetscape improvements
5. Shared use path along the corridor
6. A distinctive gateway at the rail overpass



The Area Plan concepts are general guides to indicate potential development options. Plans are schematic only, and the actual uses, locations and configurations of buildings, parking areas, and access points will be determined through the public review of individual development projects. Properties retain all existing

Cemetery Road

Redevelopment that creates a more inviting, walkable, and mixed-use place; is an economic hub; and is supportive of future transit.

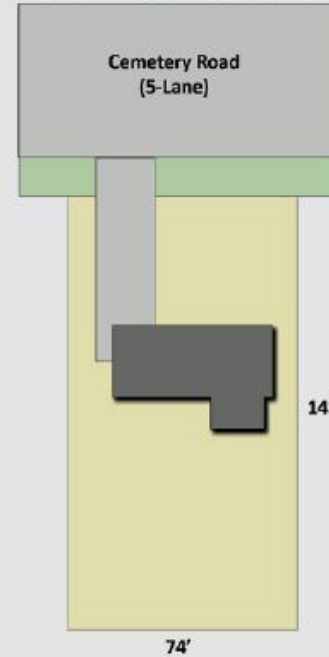
- 1. Village-scale mixed-use with buildings framing the corridor**
- 2. Urban-scale mixed-use providing opportunity for future transit**
- 3. Urban/Village residential fronting Cemetery Road (alley access)**
- 4. Streetscape improvements**
- 5. Shared use path along the corridor**
- 6. A distinctive gateway at the rail overpass**



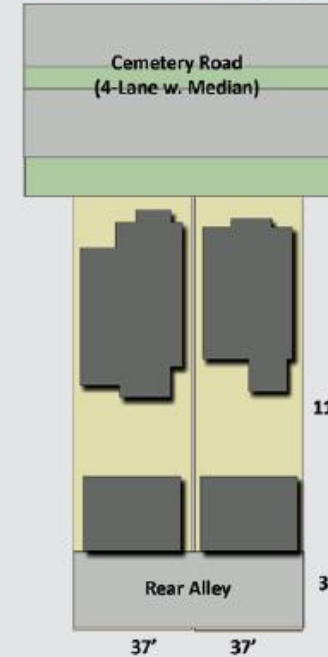
Cemetery Road

Redevelopment that creates a more inviting, walkable, and mixed-use place; is an economic hub; and is supportive of future transit.

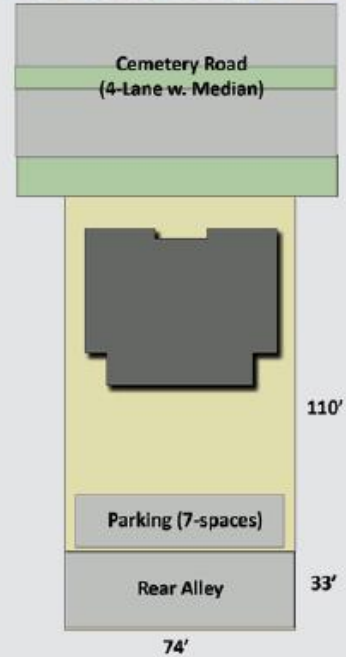
1. **Village-scale mixed-use with buildings framing the corridor**
2. **Urban-scale mixed-use providing opportunity for future transit**
3. **Urban/Village residential fronting Cemetery Road (alley access)**
4. **Streetscape improvements**
5. **Shared use path along the corridor**
6. **A distinctive gateway at the rail overpass**



Existing Ranch Home
(0.24-acre Lot)



Urban Single-Family
with Lot Split



Mixed Office/Residential
Intensification

I-270 Area

Encourage infill and redevelopment with a focus on economic vitality to maximize the City's fiscal health.

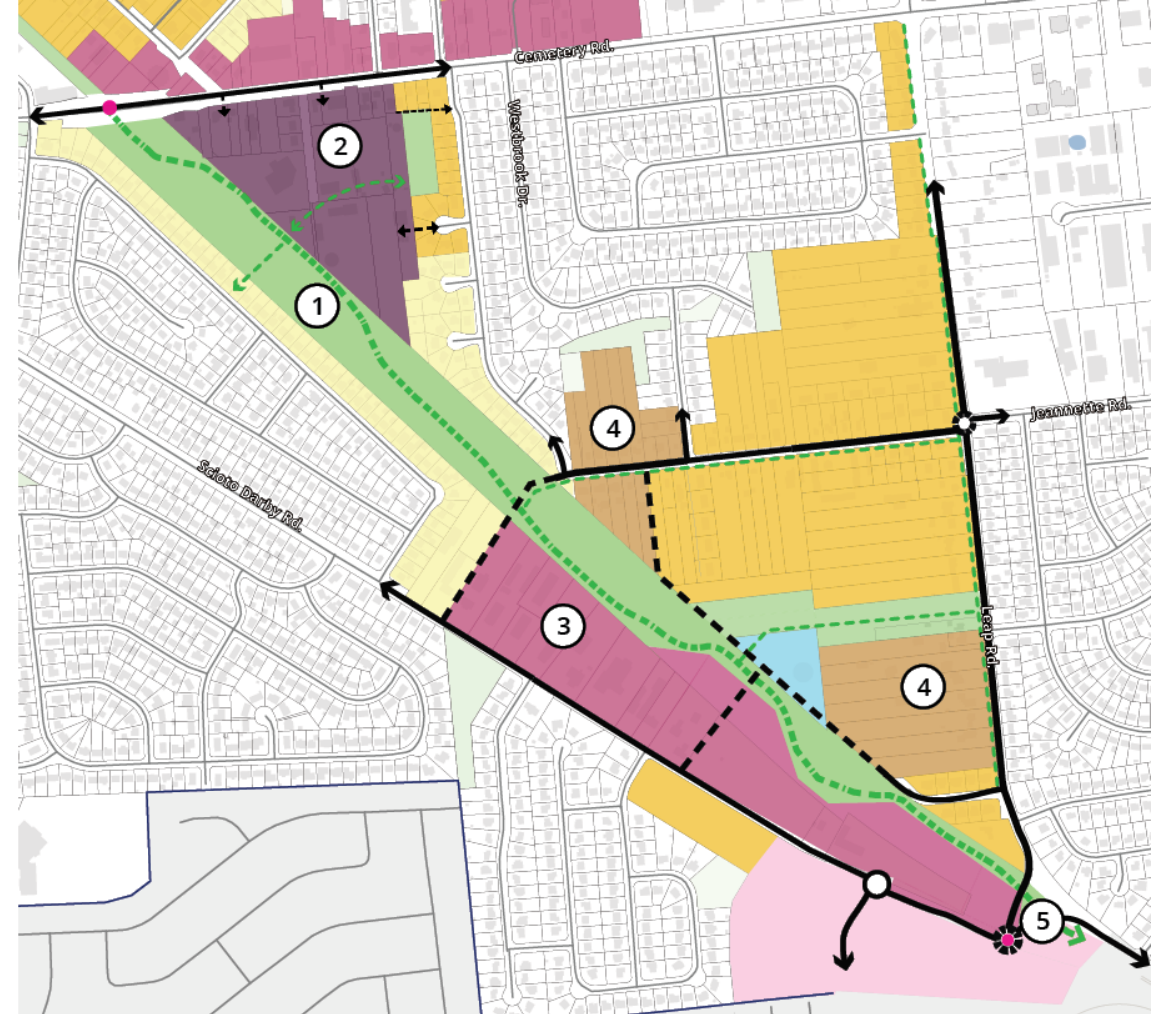
1. **Mixed-use centers around premium office sites**
2. **Urban mixed-use centers**
3. **Flex Employment**
4. **East-west pedestrian and bike connections**



Retired Rail Corridor

Extend the Heritage Trail and create a unique trail-oriented development

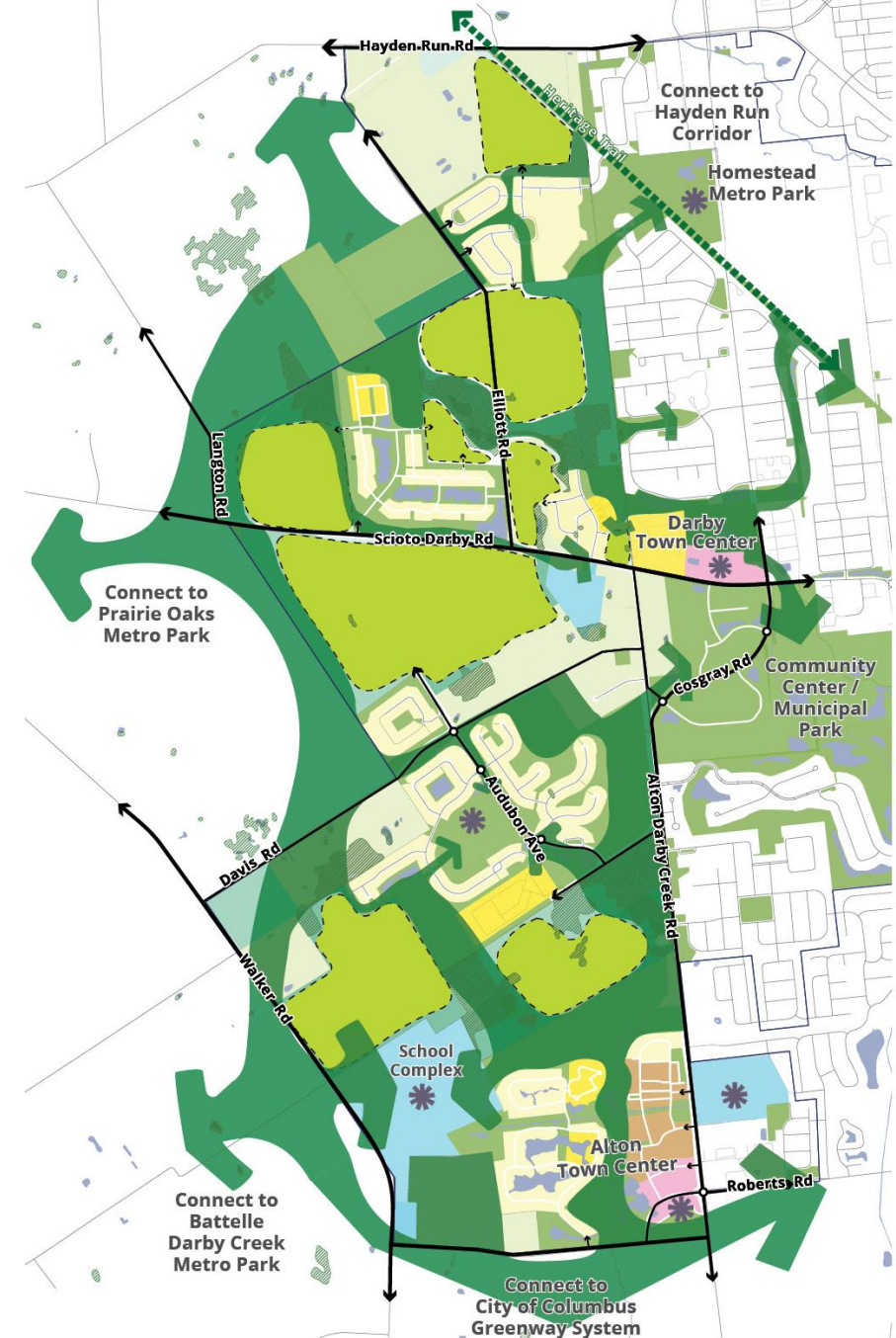
- 1. Extend the Heritage Trail and create a signature linear park.**
- 2. Redevelop the Hilliard Municipal Site with trail-oriented and transit-oriented mixed-use.**
- 3. Trail-oriented village / neighborhood center.**
- 4. Neighborhood revitalization and new trail-oriented residential**



Big Darby Area

Leverage strategic development to conserve a greater amount of land and create a connected greenway system

1. **Prioritize land uses that provide a community benefit.**
2. **Conserve a larger proportion of remaining developable land.**
3. **Create a connected open space and greenway system**
4. **Exhibit compact, low-impact, conservation pattern and design.**
5. **Create an educational component.**



Big Darby Area

Big Darby Area Actions

- FA E1 Obtain approval for additional types of low-impact development within the existing service boundary.** By allowing some additional development in the area, the City could obtain land for a connected greenway system and preserve a greater amount of open space than exists today. Hilliard should work with the Big Darby Accord Advisory Panel to obtain support for the City's long-term vision of conservation and development in the area. It should seek authorization for additional sewer taps from the City of Columbus for future low-impact development within the existing service boundary in exchange for a greater amount of preserved open space (which may include land preserved outside of that boundary).
- FA E2 Acquire land to create the greenbelt and linear park system.** Update the open space set aside requirements in the Hilliard Conservation District standards to require a larger amount of total open space be set aside and that some amount of open space is "usable" for passive recreation. Allow density bonuses to be tied to a greater amount of open space preservation than the minimum standard — including land that is outside of a proposed development site. Introduce a "fee-in-lieu" if sufficient open space cannot be set aside. Use these fees to fund future land acquisitions.
- FA E3 Incentivize non-residential "conservation development."** Since any additional development capacity in the Darby Area will be limited, it is vital that development contributes to its goals. Projects that have an employment component should be a priority to provide income tax revenue that will support the greenbelt and linear park system. One way to incentivize such development is through zoning and annexation. The City could create a "conservation commercial" subdistrict of the Hilliard Conservation District that would allow certain employment focused land uses by right with appropriate design standards. The City could then stipulate



Conservation Development and Conservation Employment

Conservation development areas are intended to support development that protects environmentally sensitive land and limits the city's long-term infrastructure costs. These areas could accommodate a wide range of residential and non-residential uses in a pattern that clusters development and preserves at least 50% open space on a site. These areas should incorporate areas of forest, prairie, and wetland into the development's design and utilize other low impact building and site design practices. Architectural styles should be eclectic yet complement the rural character of the Big Darby focus area. Developments should be connected via pedestrian and automobile routes and incorporate public spaces and natural areas.

Employment uses in a conservation pattern could include low-impact office, research and development, neighborhood commercial, or other non-residential development that would have minimal negative impact on traffic, schools, and demand for services.

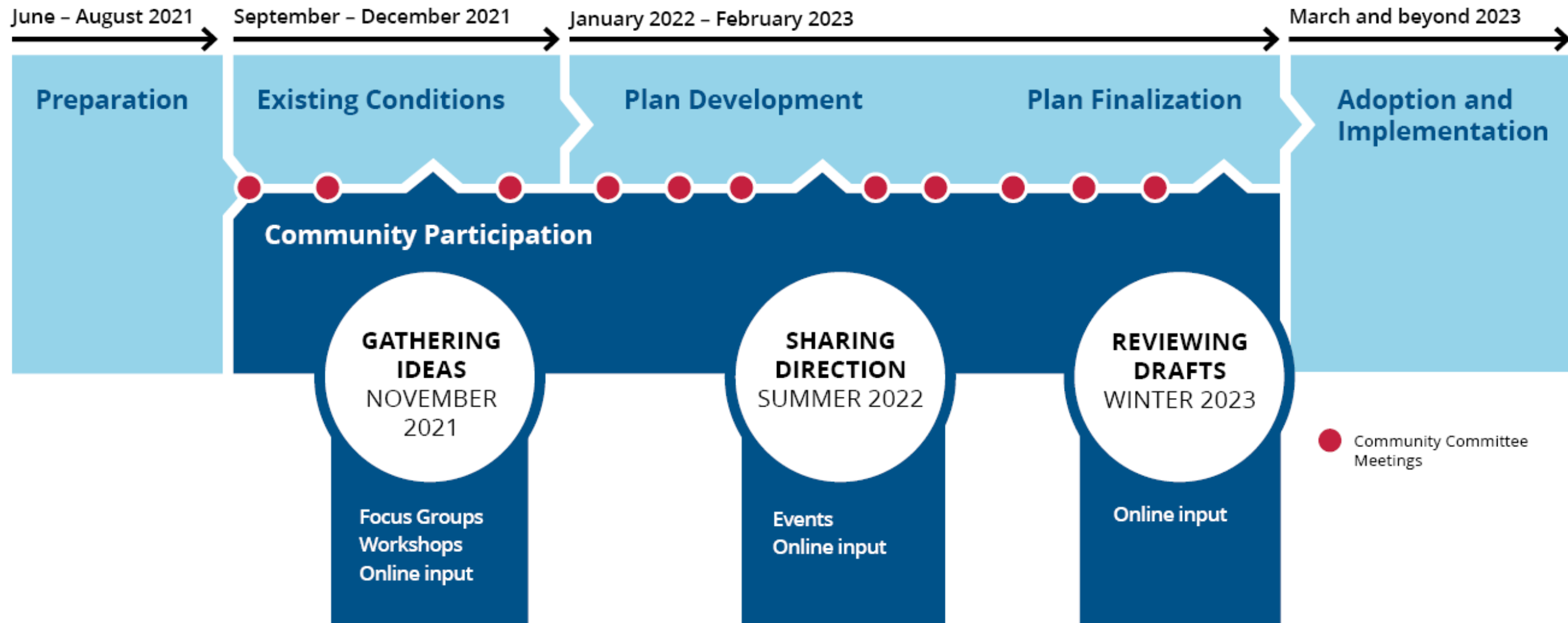
- FA E4 Update the Hilliard Conservation District standards.** An update to the Hilliard Conservation District standards should consider base permitted density, increased open space provisions, and revised criteria for density bonuses and other design attributes. See the following page for potential criteria.
- FA E5 Continue to advocate for an update to the Darby Accord Plan.** The BDAWMP was intended to be reviewed regularly and updated every five years. It has not been updated since it was created over 15 years ago. Continue to work with the City of Columbus, Brown Township, and other Darby Accord partners to address mutual conservation and development goals for this area. Support a process to update the Darby Accord or a subarea of that plan.
- FA E6 Partner with Columbus and Franklin County Metro Parks to establish a greenbelt and linear park system that connects to other existing metro parks.** Consider a partnership with Metroparks (or a similar entity) that allows that organization to develop and maintain regional park assets on land that has been acquired by the City.
- FA E7 Establish an educational space within the Darby area park system.** Look for opportunities to provide educational features or spaces in the Darby Area to showcase and provide hands-on learning about the area's unique natural features, ecological significance, agricultural legacy, and sustainable development. Consider incorporating such a feature within the design of the new community center campus.

Next steps for the plan



COMMUNITY PLAN

Process Overview and Milestones



How the plan is used

A comprehensive plan is implemented over time through many distinct decisions. It's used regularly by City staff and elected/appointed officials.

1. Development review
2. Economic incentives
3. Department work programs and budgets
4. Capital improvements plan
5. Private development decisions

ACTION		SoE	CORE BELIEF	ELEVATE	CATEGORY	STATUS
Objective 2. Encourage and support efforts to increase bicycle and pedestrian connectivity.						
CO 2.1	Improve opportunities for alternative modes of transportation, specifically pedestrians and bicycles.	✓	3 4 6		O	☰
CO 2.2	Integrate bicycle and pedestrian facilities into new roadway projects.	✓	3 4 6		O	↻
CO 2.3	Create a sidewalk repair program.		3 4 6		C	⋯
CO 2.4	Expand the city's multi-use path system.		3 6		C	☰
CO 2.5	Increase marketing and wayfinding efforts to support the Greenway system.		3 6		P	⋯
Objective 3. Expand and improve transit services and options.						
CO 3.1	Expand the city transit system's service area and frequency.	✓	1 2 3 4 6	📍	P	☰
CO 3.2	Better integrate Tuscaloosa Transit Authority and Crimson Ride services.	✓	2 3 4 6	📍	O	☰
Objective 4. Improve Downtown mobility and parking.						
CO 4.1	Formalize a Downtown Parking Strategy to Address parking needs and improve mobility.		3 6		P	☰
CO 4.2	Continue to redefine the University Boulevard Streetscape between Campus and Downtown.		3 4 6	📍	C	☰

Next steps to complete the plan

- 1. Planning commission endorsement**
- 2. City Council Resolution**

Next steps after the plan



COMMUNITY PLAN

Updating the zoning code is the first implementation step

- 1. A code assessment is part of the plan process, but code revisions will follow the plan**
- 2. Large-scale zoning code rewrites typically take 12+ months**
- 3. Potentially could be updated and adopted in parts**

Thank you



COMMUNITY PLAN